

General Notes

Do not scale off this drawing unless a scale bar is provided.
Any ambiguities, omissions and errors on this drawing should be notified immediately to the Architect before the commencement of works on site.

All dimensions are in millimetres unless otherwise stated.

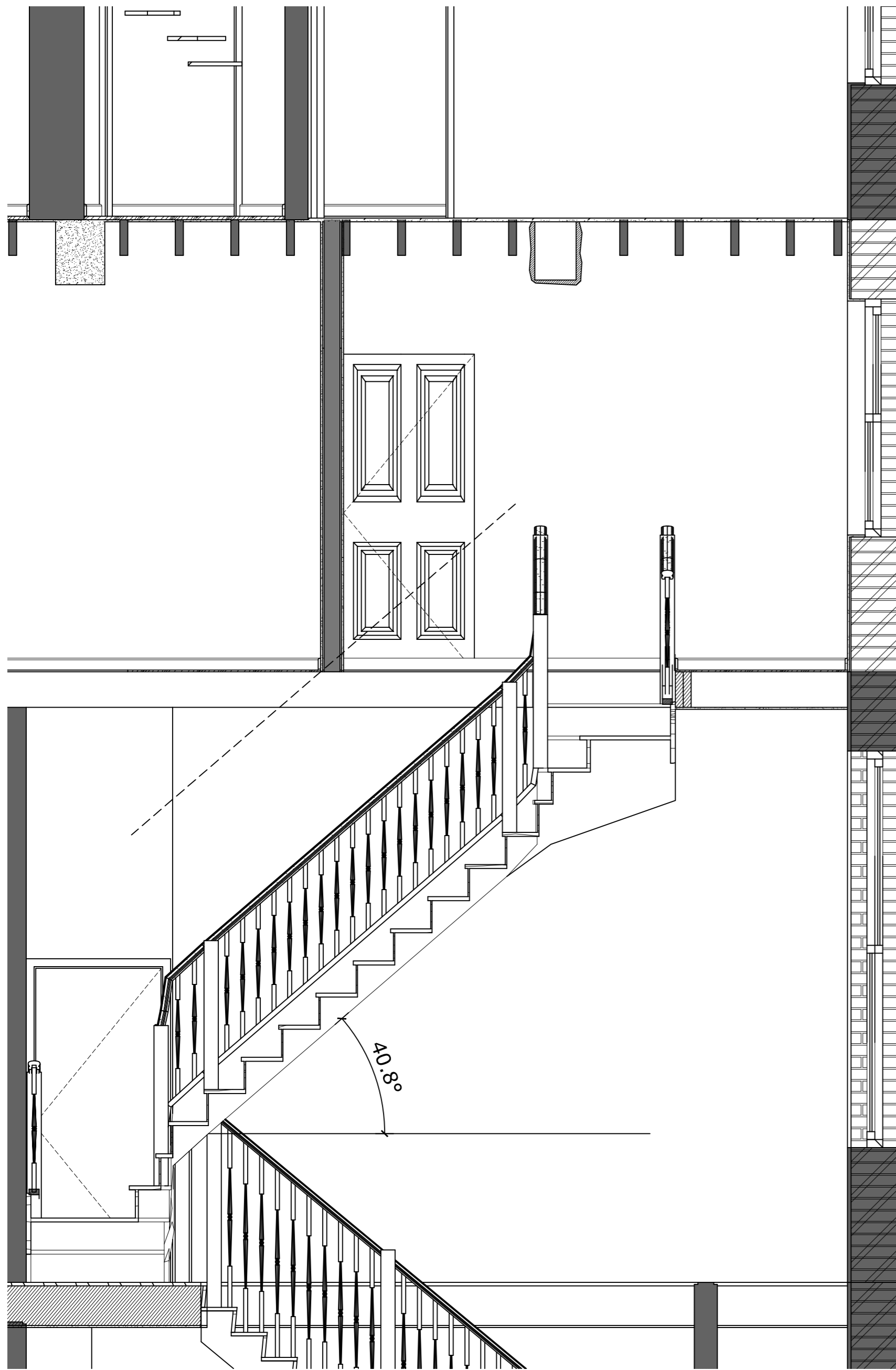
All dimensions, unless otherwise indicated, are to the face of unfinished block walls or to the rough timber face of stud partitions.

All dimensions are to be checked on site. Any discrepancies are to be notified immediately to the Architect before the commencement of works on site.

All levels are in meters unless otherwise stated.

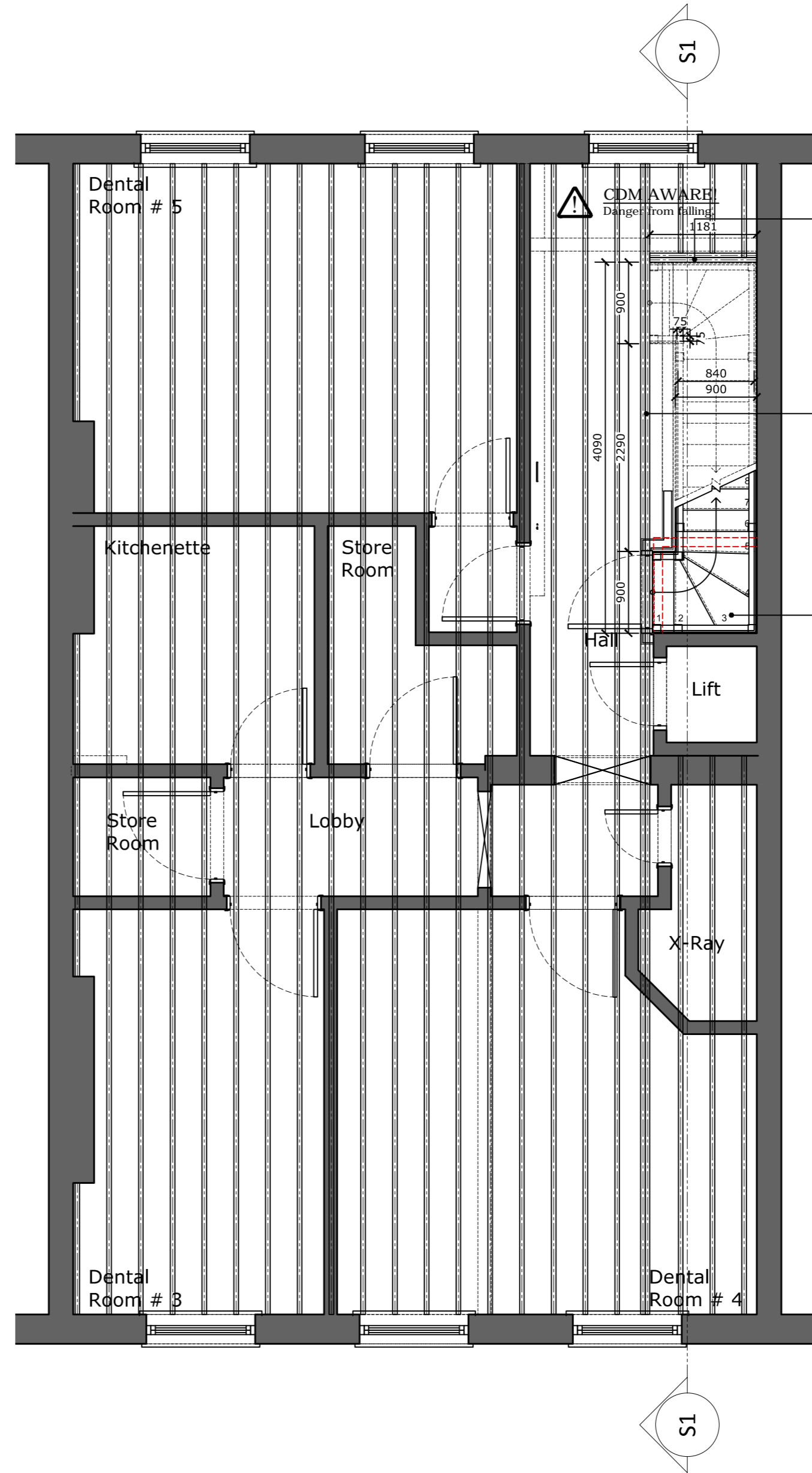
This drawing is to be read in conjunction with all other relevant drawings and specifications for this project.

Rev	Description	By	Date
P1	First Issue.	swf	01.12.11



General Section (showing new stairs)

Scale 1:25



Existing Second Floor (showing structure above)

Scale 1:50

CDM Regulations

⚠ Denotes a significant Hazard or difficult to manage procedure. Please refer to Designer Hazard Register for further information regarding mitigation of hazards

Existing floor joists to be trimmed to form opening as shown. Please refer to S.E. details.

New additional 50x225mm C24 s.w. floor joist to span from existing supporting walls and bolted to existing floor joist adjacent.

New fixed stairs to be installed from second floor to third floor apartment above.

NOTES TO CONTRACTOR

1. All art: wall agreements will be in place with all affected tenants prior to any construction work. The contractor/sub contractor must liaise themselves with the agreements and adhere to their contents. Any breach will be the responsibility of the contractor/sub contractor to rectify.
2. Access to the third floor flat and area or works is via the front entrance door and stairs. The door and entrance area are fairly wide but the door to the upper floor and the existing stairs are very tight for size. It is strongly advised that all prospective contractors and/or subcontractors visit the site before contacting their assessors for construction and pricing.
3. The contractor and/or sub contractor is responsible for the safe and clean removal of all unused materials, tools, debris and general rubbish from the site. Allowance must be made for the retention of existing elements like doors, walls, stairs etc. Any damage must be repaired or replaced and the contractor/sub contractors expense to the agreement and satisfaction of all tenants and the client.

Client	Vanilla Pod
Project	Alterations & Roof Extension
Job	35 Devonshire Place, London.
Job	Survey Drawings

Drawing Title	Plans
Proposed Second	
Scale	1:50 @ A2
Date	01.12.11
Project No./Discipline	1076-
Drawn	SWF
Checked	AA
Drawing No.	202
Revision	P1