

General Notes

Do not scale off this drawing unless a scale bar is provided.

Any ambiguities, omissions and errors on this drawing should be notified immediately to the Architect before the commencement of works on site.

All dimensions are in millimetres unless otherwise stated.

All dimensions, unless otherwise indicated, are to the face of unfinished block walls or to the rough timber face of stud partitions.

All dimensions are to be checked on site. Any discrepancies are to be notified immediately to the Architect before the commencement of works on site.

All levels are in meters unless otherwise stated.


This drawing is to be read in conjunction with all other relevant drawings and specifications for this project.

Rev	Description	By	Date
P1	First issue.	swf	01.12.11
P2	Stairs amended.	swf	15.12.11
P3	Proposed trimmers changed to fitch beams. Existing floor joist amended following exposure. Notes added.	swf	12.01.12

Client	Vanilla Pod
Project	Alterations & Roof Extension 35 Devonshire Place, London.
Job	Survey Drawings

Drawing Title	Plans
Proposed Second	
Scale	1:50 @ A2
Date	01.12.11
Project No./Discipline	1076-
Drawn	SWF
Checked	AA
Drawing No.	202
Revision	P3

CDM Regulations

 Denotes a significant Hazard or difficult to manage procedure. Please refer to Designer Hazard Register for further information regarding mitigation of hazards

 **CDM AWARE!**
Danger from falling.



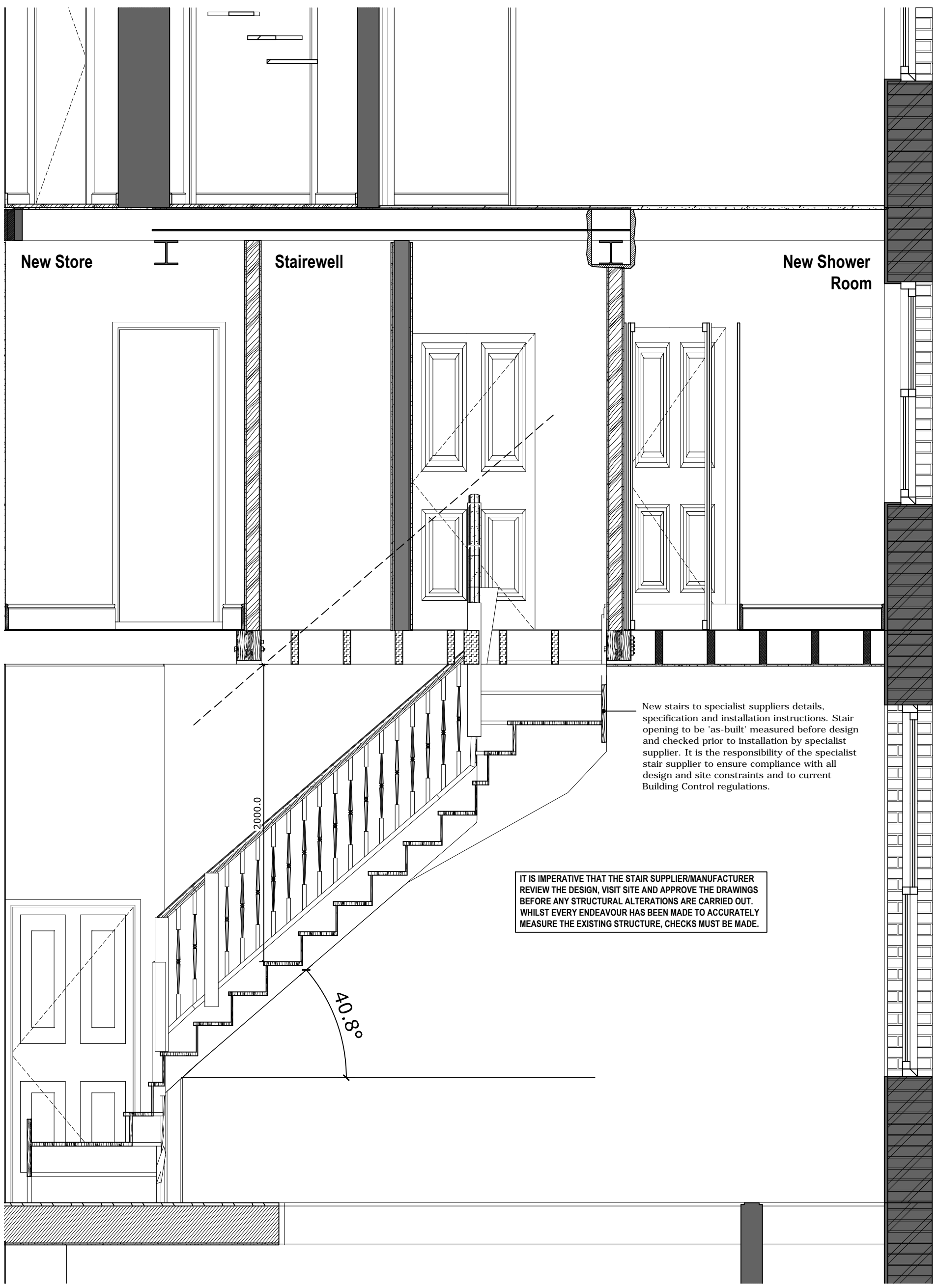
- Existing floor joists to remain unaltered.
- New 2x75x200mm s.w. C24 fitch beam with a 15x195mm mild steel plate fixed between using M12 bolts at 450mm c/c's max.
- 2no. new additional 50x225mm C24 s.w. floor joists to span between new double trimmers and bolted together.
- Existing floor joists to be trimmed back.
- New 2x75x200mm s.w. C24 fitch beam with a 15x195mm mild steel plate fixed between using M12 bolts at 450mm c/c's max.
- New fixed stairs to be installed from second floor to third floor apartment above.

NOTES TO CONTRACTOR

1. Part wall agreements will be in place with all affected tenants prior to commencement of works. The contractor/sub contractor must familiarise themselves with the agreements and adhere to their contents. Any breach will be the responsibility of the contractor/sub contractor to rectify.
2. Access to the third floor flat and area or works is via the front main entrance door and stairs. The door and entrance area are fairly wide but the door to the upper floor and the existing stairs are very tight or scarce. It is strongly advised that all prospective contractors and/or sub-contractors visit the site before commencing their assessment for construction and pricing.
3. The contractor and/or sub contractor is responsible for the safe and clean removal of all unused materials, tools, debris and general rubbish from the site. Allowance must be made for the protection of existing elements, i.e. doors, walls, stairs etc. Any damage must be repaired or replaced and the contractor/sub contractors responsible to the agreement and satisfaction of all tenants and the client.

Existing Second Floor (showing structure above)

Scale 1:50



IT IS IMPERATIVE THAT THE STAIR SUPPLIER/MANUFACTURER REVIEW THE DESIGN, VISIT SITE AND APPROVE THE DRAWINGS BEFORE ANY STRUCTURAL ALTERATIONS ARE CARRIED OUT. WHILST EVERY ENDEAVOUR HAS BEEN MADE TO ACCURATELY MEASURE THE EXISTING STRUCTURE, CHECKS MUST BE MADE.

New stairs to specialist suppliers details, specification and installation instructions. Stair opening to be 'as-built' measured before design and checked prior to installation by specialist stair supplier to ensure compliance with all design and site constraints and to current Building Control regulations.

General Section (showing new stairs)

Scale 1:25