

General Notes

Do not scale off this drawing unless a scale bar is provided.
Any ambiguities, omissions and errors on this drawing should be notified immediately to the Architect before the commencement of works on site.

All dimensions are in millimetres unless otherwise stated.


All dimensions, unless otherwise indicated, are to the face of unfinished block walls or to the rough timber face of stud partitions.

All dimensions are to be checked on site. Any discrepancies are to be notified immediately to the Architect before the commencement of works on site.

All levels are in meters unless otherwise stated.

This drawing is to be read in conjunction with all other relevant drawings and specifications for this project.

CDM Regulations

 Denotes a significant Hazard or difficult to manage procedure. Please refer to Designer Hazard Register for further information regarding mitigation of hazards

Existing floor joists to be trimmed to form opening as shown. Please refer to S.E. details.

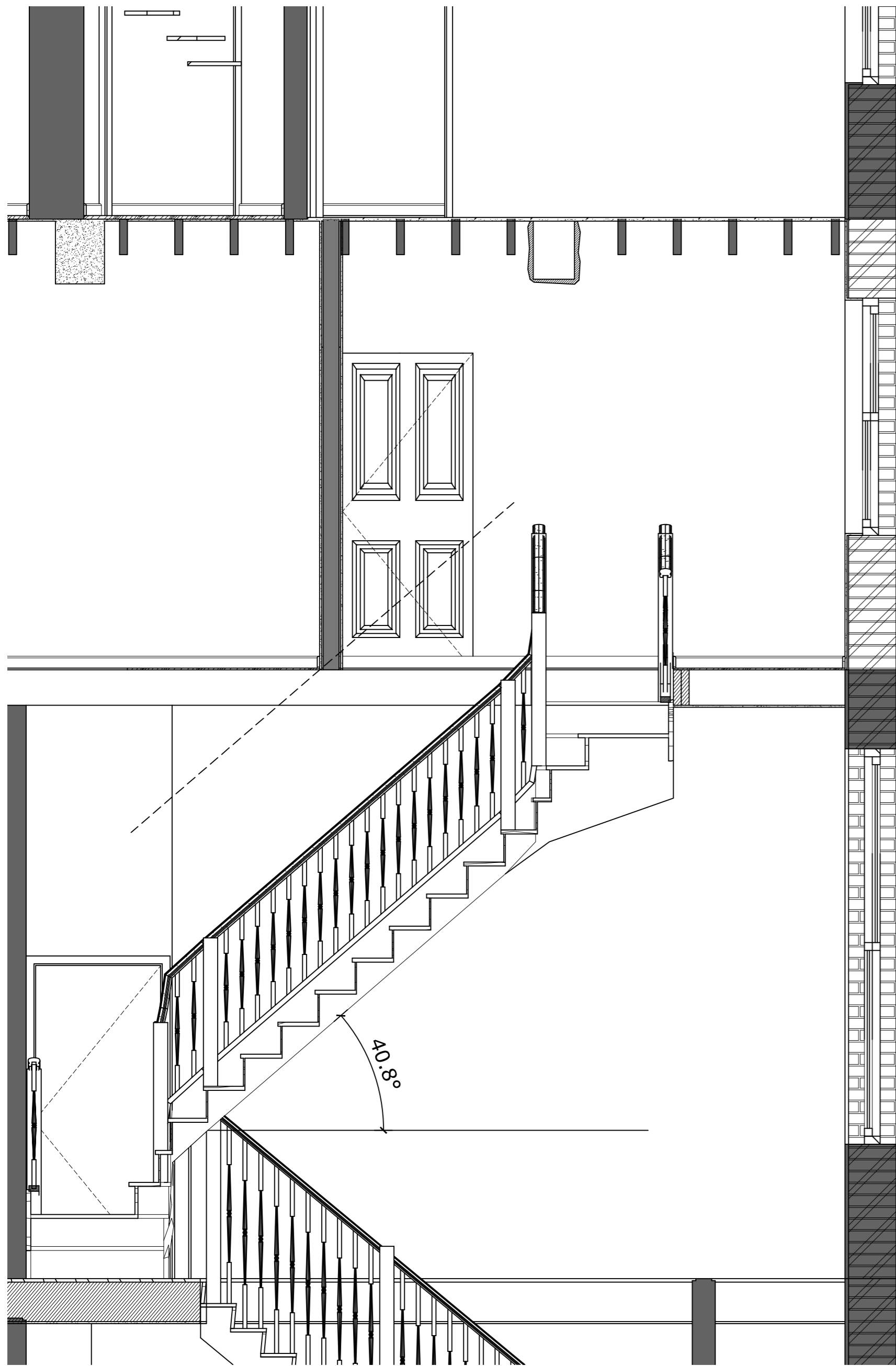
New additional 50x225mm C24 s.w. floor joist to span from existing supporting walls and bolted to existing floor joist adjacent.

New fixed stairs to be installed from second floor to third floor apartment above.

Rev	Description	By	Date
P1	First Issue.	swf	01.12.11

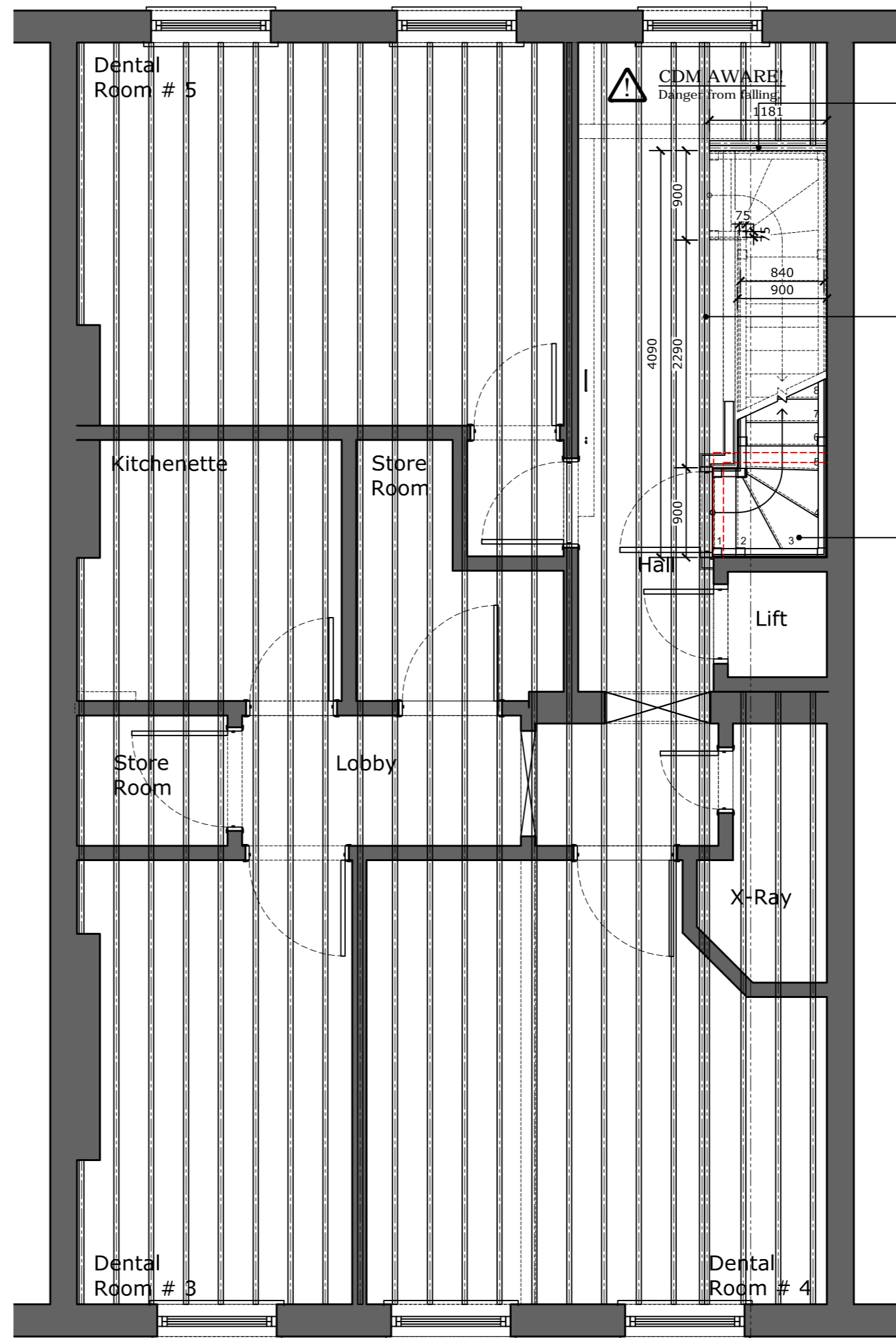
NOTES TO CONTRACTOR

1. All internal wall openings will be in place with all affected tenants prior to any construction work. The contractor/sub-contractor must liaise themselves with the affected tenants and adhere to their contents. Any breach will be the responsibility of the contractor/sub-contractor to rectify.
2. Access to the third floor flat and area works is via the front entrance door and stairs. The door and entrance area are fairly wide but the door to the upper floor and the existing stairs are very tight in size. It is strongly advised that all prospective contractors and/or subcontractors visit the site before contacting their assessors for construction and pricing.
3. The contractor and/or sub-contractor is responsible for the safe and clean removal of all unused materials, tools, debris and general rubbish from the site. Allowance must be made for the retention of existing elements (doors, walls, stairs etc). Any damage must be repaired or replaced and the contractor/sub-contractors expense to the agreed amount and satisfaction of all tenants and the client.



General Section (showing new stairs)

Scale 1:25



Existing Second Floor (showing structure above)

Scale 1:50

Client Vanilla Pod			
Project Alterations & Roof Extension 35 Devonshire Place, London, Job Survey Drawings			
Drawing Title Plans Proposed Second			
Scale	1:50 @ A2	Drawn	SWF
Date	01.12.11	Checked	AA
Project No./Discipline	1076-	Drawing No.	202
		Revision	P1

DRAWING STATUS: PRELIMINARY - subject to building control approval

C:\Users\1076\Documents\Projects\Vanilla Pod\Planning\Drawings\1076-2022-1 - Proposed Second Floor (Batts Above) - 01.12.2011 13:02:57 (Rev. 01) (1076) (Rev. 01) (1076) (Rev. 01)